



High Street, Eldon Lane, DL14 8TD
2 Bed - House - Semi-Detached
£45,000

ROBINSONS
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Robinsons are pleased to offer for sale this two bedrooomed semi detached property located on High Street in Eldon and situated just a short distance from local amenities including, shops, supermarkets schools. The neighbouring town of Bishop Auckland provides access to a lager range of amenities, such as supermarkets, healthcare services, cafés, restaurants and both Primary and Secondary schools. The A688 is nearby and leads to the A1 (M) both North and South, ideal for commuters. There is also an extensive public transport system which allows for access to not only the surrounding towns and villages, but the North East in general.

The accommodation on offer briefly comprises; kitchen/dining room, Lounge, dining room, rear hallway and rear lobby to the ground floor. To the first floor there are two good sized double bedrooms with storage and a wet room. A large landing space could lend itself to a variety of uses. Externally the property is accessed via a shared lane with access leading the rear where there is a gravelled garden area with large workshop and timber shed.

GROUND FLOOR

Entrance Porch

Entered via a uPVC door from the front.

Kitchen/Breakfast Room

15'5" x 11'3" (4.72 x 3.44)

Fitted with wall units, single drainer stainless steel sink unit, free standing electric cooker, space for washing machine and fridge freezer, window to the front

Dining Room

15'5" 9'7" (4.72 2.94)

With feature fire surround and double glazed window to the front.

Lounge

15'1" x 11'6" (4.60 x 3.53)

With feature fireplace, alcove storage cupboards and double glazed window to the rear.

FIRST FLOOR

Landing

A large area which would lend itself to a variety of uses and with double glazed window to the side.

Bedroom 1

14'6" x 13'10" (4.42 x 4.24)

With overstair storage cupboard and double glazed window to the rear.

Bedroom 2

13'8" x 9'11" (4.17 x 3.04)

With double glazed window to the front.

Wet Room

10'5" x 5'7" (3.20 x 1.71)

With mains shower, pedestal wash basin, low level WC, none slip flooring, panelled walls and double glazed window to the front.

EXTERNAL

Externally the property is accessed via a shared lane with access leading the rear where there is a gravelled garden area with large workshop and timber shed.

AGENTS NOTES

Electricity Supply: Mains

Water Supply: Mains

Sewerage: Mains

Heating: Gas

Broadband: Basic 5Mbps, Superfast 80Mbps

Mobile Signal/Coverage: Average

Tenure: Freehold

Council Tax: Durham County Council, Band A: Approx. £1469 (min)

Energy Rating: E

Disclaimer: The preceding details have been sourced from the seller and OnTheMarket.com. Verification and clarification of this information, along with any further details concerning Material Information parts A, B & C, should be sought from a legal representative or appropriate authorities. Robinsons cannot accept liability for any information provided.



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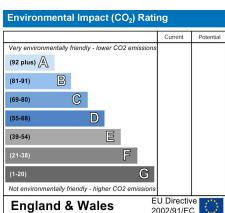
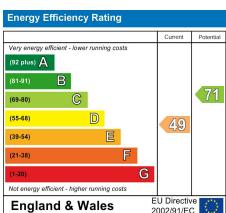
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